

05.24.13

BETH-EL TEMPLE CONCEPTUAL COST MAGNITUDE

	Unit Cost	Quantity	Units	Cost
STABILIZATION RECOMMENDATIONS				
Reroofing - Areas #1, #2, #3, #4, #6, and #8 (Includes tear off of existing membrane, new EPDM membrane, flashing, gutter/downspouts, roof deck repair, cover boards)	\$10.00	6,200	SF	\$62,000
Roof Deck Repair Allowance	\$25,000.00	1		\$25,000
Dry Out and Inspect Decorative Plaster and Ceiling Substructure	\$2,500.00	1		\$2,500
Remove Damaged Portion of Decorative Plaster and Stabilization	\$15,000.00	1		\$15,000
Remediation of Mold (Includes removal of non historic materials and cleaning of historic materials to remain)	\$40,000.00	1		\$40,000
STABILIZATION - SUBTOTAL				\$144,500
HIGH PRIORITY RECOMMENDATIONS - EXTERIOR				
Maintenance				
Brick Masonry Repointing @20% Cleaning 100%	\$10.00	2,800	SF	\$28,000
	\$2.00	14,000	SF	\$28,000
Limestone Masonry Repointing @80% Cleaning 100%	\$10.00	800	SF	\$8,000
	\$2.00	1,000	SF	\$2,000
Reconstruct Ceiling at West Canopy (Includes installing new sheathing and plaster skim coat)	\$2,000.00	1	EA	\$2,000
Repainting (Decorative metal repair and repainting of west and north canopies and tension rods)	\$5,000.00	1	EA	\$5,000
North Step Replacement and New Metal Railings	\$15,000.00	1	EA	\$15,000
Historic Preservation				
Terra Cotta Masonry Repair (Includes replacement of approximately 40 pieces)	\$350.00	40	EA	\$14,000
Window Restoration - Main Facades (Includes first floor windows on first floor of North and South Elevations)	\$2,000.00	20	EA	\$40,000
Window Reconstruction - Main Facades (Includes reconstruction of second story windows on North, West, and South Elevations)	\$5,000.00	20	EA	\$100,000
Demolition (Includes the demolition of both the north and northeast addition)	\$15,000.00	1	EA	\$15,000
HIGH PRIORITY EXTERIOR - SUBTOTAL				\$257,000
LOW PRIORITY RECOMMENDATIONS - EXTERIOR				
Historic Preservation				
West Entry and South Entry Storefront Reconstruction (Includes constructing more historically appropriate doors and door frames)	\$6,000.00	1	EA	\$6,000
Window/Door Restoration - Alley Facade (Includes restoration of windows on East Elevation)	\$2,000.00	6	EA	\$12,000
LOW PRIORITY EXTERIOR - SUBTOTAL				\$18,000
INTERIOR RECOMMENDATIONS				
Decorative Plaster Repair Allowance	\$100,000.00	1	EA	\$100,000
Main Lobby Restoration Allowance	\$45,000.00	1	EA	\$45,000
Historic Light Fixture Restoration Allowance	\$20,000.00	1	EA	\$20,000
Historic Sanctuary Restoration Allowance (Includes alter, balcony pews, and misc. restoration)	\$200,000.00	1	EA	\$200,000
LULA Elevator	\$65,000.00	1	EA	\$65,000

Interior Buildout Allowance - 1st Floor	\$40.00	6,600	SF	\$264,000
Mechanical	\$25.00	13,200	SF	\$330,000
Plumbing	\$3.00	13,200	SF	\$39,600
Electrical	\$12.00	13,200	SF	\$158,400
Fire Protection	\$3.00	13,200	SF	\$39,600
INTERIOR - SUBTOTAL				\$1,261,600
MISCELLANEOUS COSTS				
Site Allowance	\$50,000.00	1	EA	\$50,000
Furniture and Finishes Allowance	\$50,000.00	1	EA	\$50,000
MISCELLANEOUS - SUBTOTAL				\$100,000
TOTALS				
Total Rehabilitation Costs				\$1,781,100.00
Total Project Costs (Includes Contractor O and P, Design Fee, and Contingency)				\$2,315,430.00
Cost Per Square Foot				\$174.95

DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D6. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D7. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.
- D8. REMOVE NON-HISTORIC PEWS.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.
- S2. DRY OUT AND INSPECT DECORATIVE PLASTER AND CEILING SUBSTRUCTURE IN ORDER TO DETERMINE ITS STABILITY AND PORTIONS THAT CAN BE SALVAGED.
- S3. REMEDIATE ALL MOLD. THIS INCLUDES THE COMPLETE REMOVAL OF NON-HISTORIC MATERIALS EXHIBITING MOLD GROWTH AND CLEANING OF HISTORIC MATERIALS TO REMAIN.

HIGH PRIORITY - EXTERIOR RECOMMENDATIONS

MAINTENANCE

- H1. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H2. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.

HISTORIC PRESERVATION

- H3. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
- H4. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR RECOMMENDATIONS

MAINTENANCE

- L1. NEW EXTERIOR STAIRWAY.

HISTORIC PRESERVATION

- L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
- L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
- L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
- L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
- L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

INTERIOR RECOMMENDATIONS

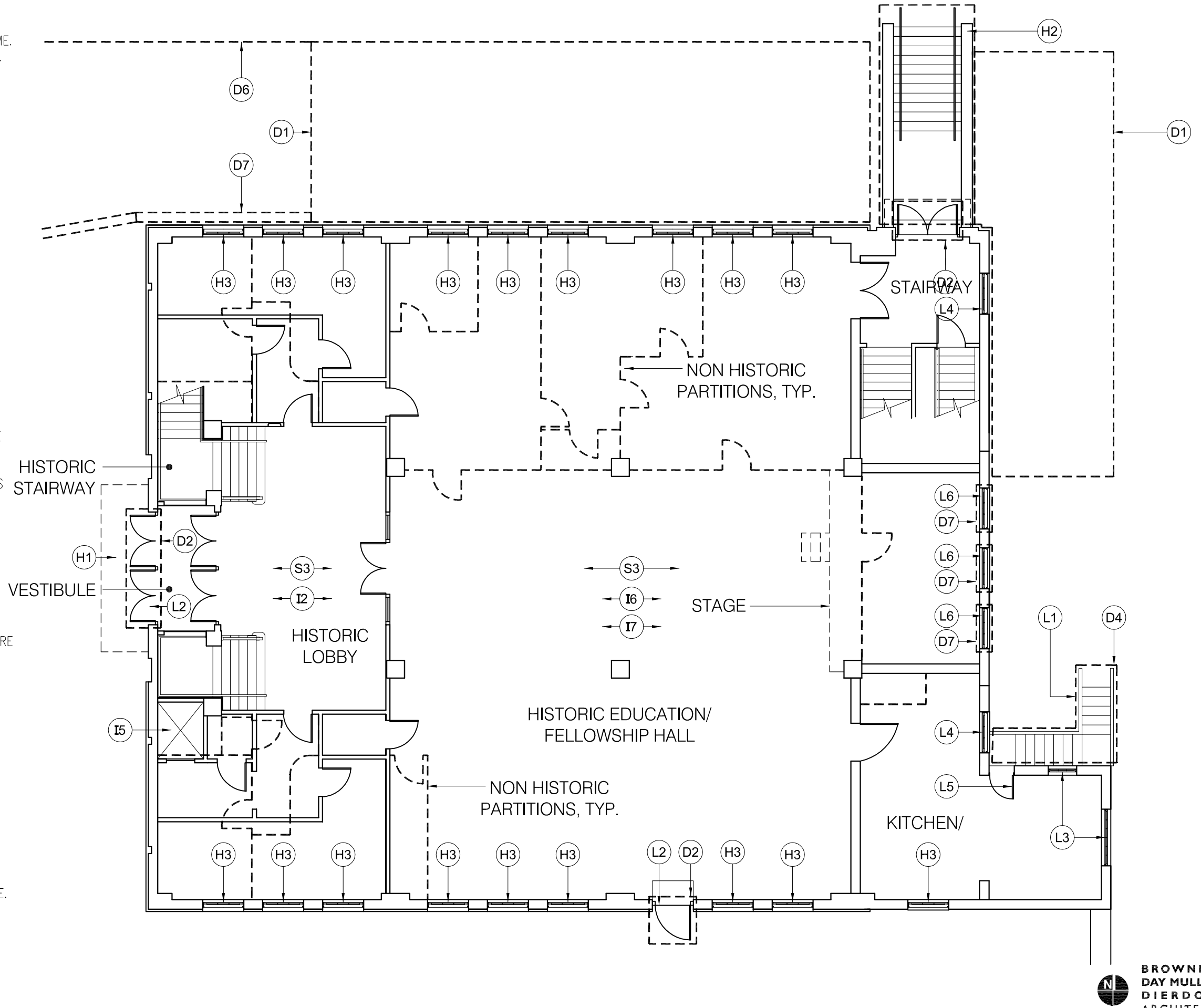
- I1. REPAIR STEEL SUBSTRUCTURE AND DECORATIVE PLASTER. PRIME AND REPAINT PLASTER CEILING.
- I2. RESTORE MAIN LOBBY TO MATCH HISTORIC APPEARANCE.
- I3. RESTORE ALL HISTORIC LIGHT FIXTURES
- I4. RESTORE HISTORIC SANCTUARY TO HISTORIC APPEARANCE.
- I5. INSTALL PASSENGER ELEVATOR TO PROVIDE ACCESSIBILITY TO SECOND FLOOR.
- I6. BUILDOUT FIRST FLOOR FELLOWSHIP SPACE FOR FUTURE USE.
- I7. PROVIDE ALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION.

FIRST FLOOR PLAN

BETH-EL TEMPLE

SCALE : 3/32" = 1'-0"

05/24/2013



DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D6. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D7. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.
- D8. REMOVE NON-HISTORIC PEWS.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.
- S2. DRY OUT AND INSPECT DECORATIVE PLASTER AND CEILING SUBSTRUCTURE IN ORDER TO DETERMINE ITS STABILITY AND PORTIONS THAT CAN BE SALVAGED.
- S3. REMEDIATE ALL MOLD. THIS INCLUDES THE COMPLETE REMOVAL OF NON-HISTORIC MATERIALS EXHIBITING MOLD GROWTH AND CLEANING OF HISTORIC MATERIALS TO REMAIN.

HIGH PRIORITY - EXTERIOR RECOMMENDATIONS MAINTENANCE

- H1. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H2. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.

HISTORIC PRESERVATION

- H3. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
- H4. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR RECOMMENDATIONS MAINTENANCE

- L1. NEW EXTERIOR STAIRWAY.
- L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
- L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
- L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
- L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
- L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

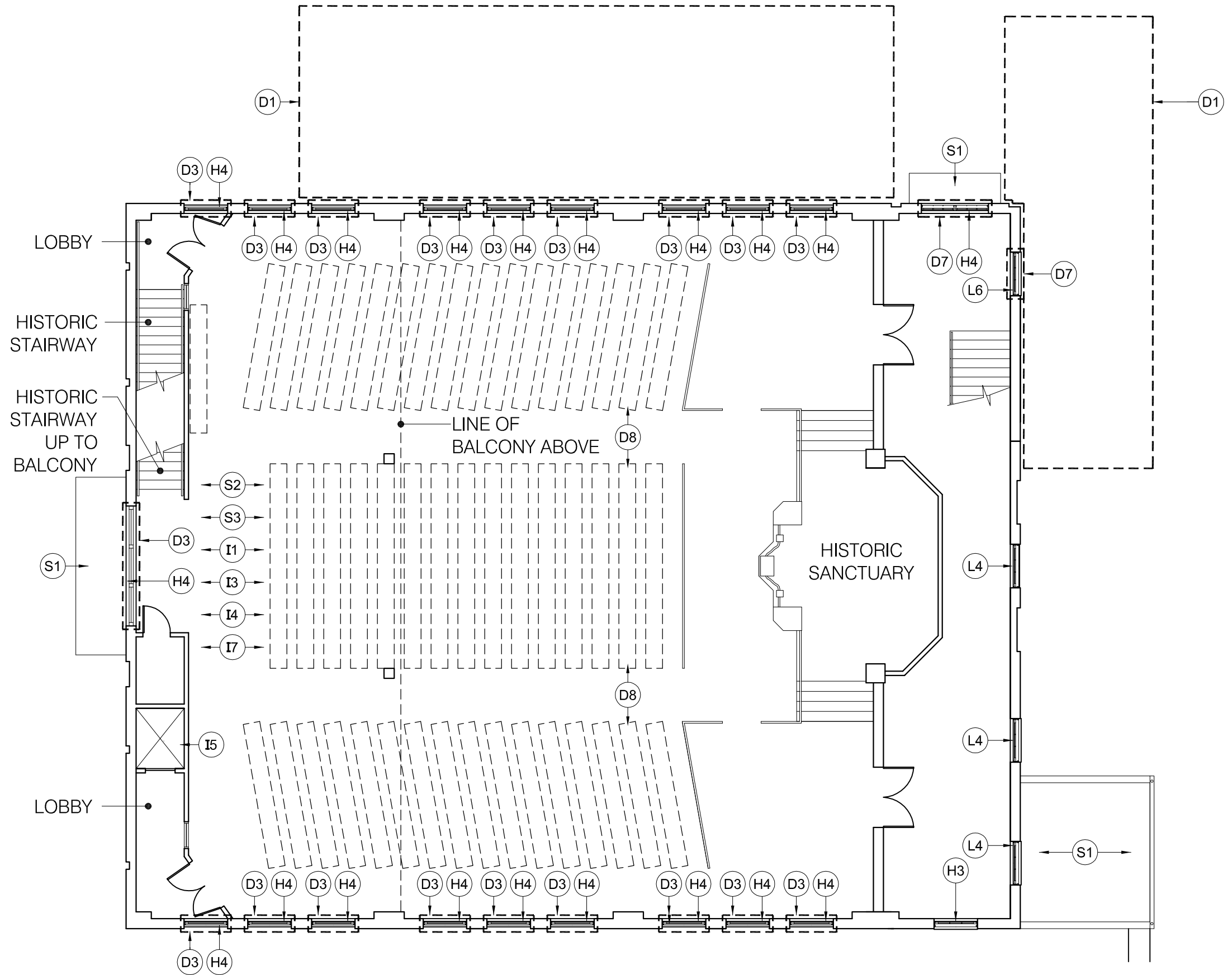
INTERIOR RECOMMENDATIONS

- I1. REPAIR STEEL SUBSTRUCTURE AND DECORATIVE PLASTER. PRIME AND REPAINT PLASTER CEILING.
- I2. RESTORE MAIN LOBBY TO MATCH HISTORIC APPEARANCE.
- I3. RESTORE ALL HISTORIC LIGHT FIXTURES
- I4. RESTORE HISTORIC SANCTUARY TO HISTORIC APPEARANCE.
- I5. INSTALL PASSENGER ELEVATOR TO PROVIDE ACCESSIBILITY TO SECOND FLOOR.
- I6. BUILDOUT FIRST FLOOR FELLOWSHIP SPACE FOR FUTURE USE.
- I7. PROVIDE ALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION.

**SECOND FLOOR PLAN
BETH-EL TEMPLE**

SCALE : 3/32" = 1'-0"

05/24/2013



DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D6. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D7. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.
- D8. REMOVE NON-HISTORIC PEWS.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.
- S2. DRY OUT AND INSPECT DECORATIVE PLASTER AND CEILING SUBSTRUCTURE IN ORDER TO DETERMINE ITS STABILITY AND PORTIONS THAT CAN BE SALVAGED.
- S3. REMEDIATE ALL MOLD. THIS INCLUDES THE COMPLETE REMOVAL OF NON-HISTORIC MATERIALS EXHIBITING MOLD GROWTH AND CLEANING OF HISTORIC MATERIALS TO REMAIN.

HIGH PRIORITY - EXTERIOR RECOMMENDATIONS MAINTENANCE

- H1. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H2. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.

HISTORIC PRESERVATION

- H3. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
- H4. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR RECOMMENDATIONS MAINTENANCE

- L1. NEW EXTERIOR STAIRWAY.

HISTORIC PRESERVATION

- L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
- L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
- L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
- L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
- L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

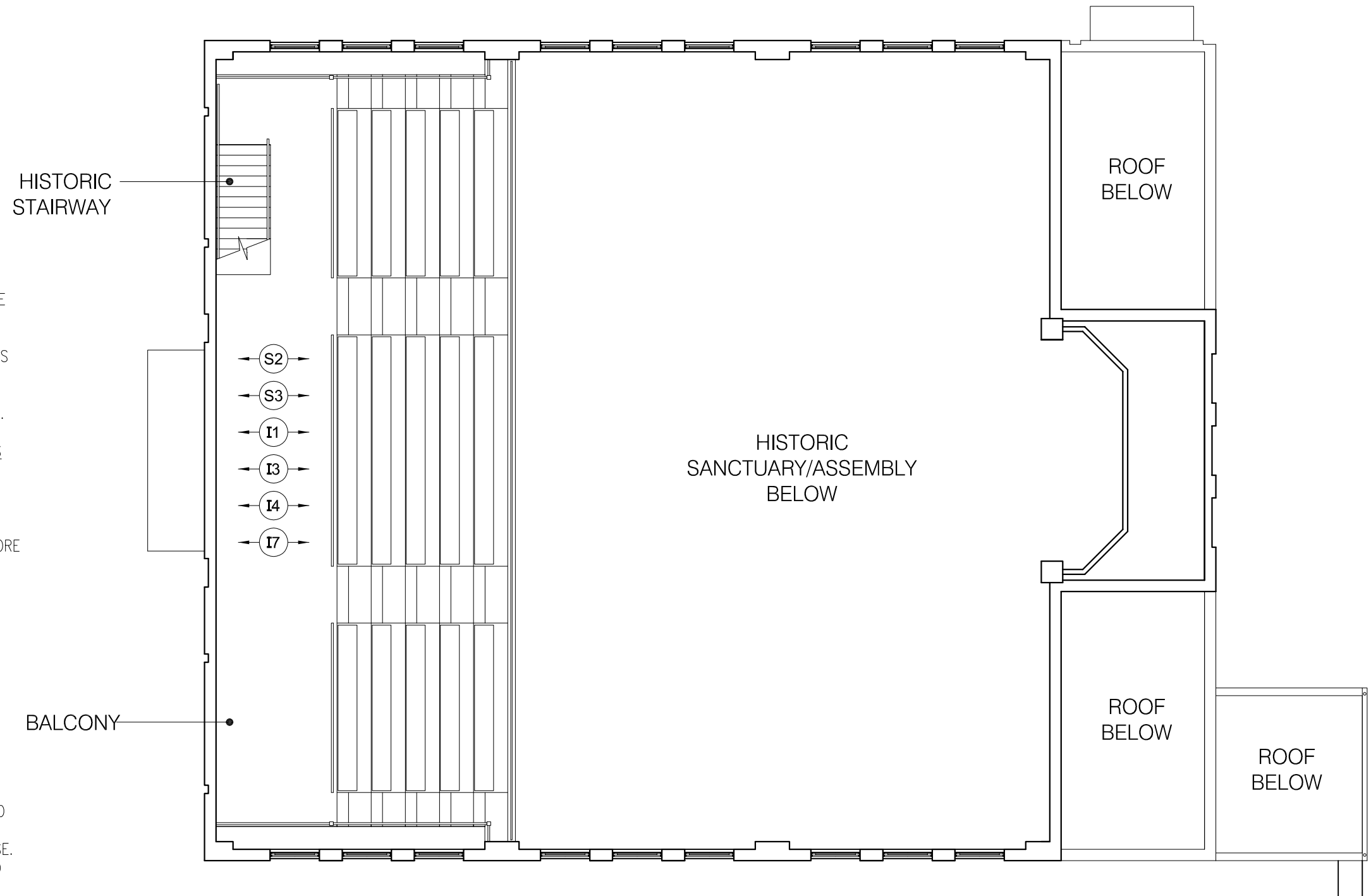
INTERIOR RECOMMENDATIONS

- I1. REPAIR STEEL SUBSTRUCTURE AND DECORATIVE PLASTER. PRIME AND REPAINT PLASTER CEILING.
- I2. RESTORE MAIN LOBBY TO MATCH HISTORIC APPEARANCE.
- I3. RESTORE ALL HISTORIC LIGHT FIXTURES
- I4. RESTORE HISTORIC SANCTUARY TO HISTORIC APPEARANCE.
- I5. INSTALL PASSENGER ELEVATOR TO PROVIDE ACCESSIBILITY TO SECOND FLOOR.
- I6. BUILDOUT FIRST FLOOR FELLOWSHIP SPACE FOR FUTURE USE.
- I7. PROVIDE ALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION.

BALCONY FLOOR PLAN BETH-EL TEMPLE

SCALE : 3/32" = 1'-0"

05/24/2013



DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D6. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D7. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.
- D8. REMOVE NON-HISTORIC PEWS.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.
- S2. DRY OUT AND INSPECT DECORATIVE PLASTER AND CEILING SUBSTRUCTURE IN ORDER TO DETERMINE ITS STABILITY AND PORTIONS THAT CAN BE SALVAGED.
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HIGH PRIORITY - EXTERIOR RECOMMENDATIONS

MAINTENANCE

- H1. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H2. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.

HISTORIC PRESERVATION

- H3. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
- H4. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR RECOMMENDATIONS

MAINTENANCE

- L1. NEW EXTERIOR STAIRWAY.

HISTORIC PRESERVATION

- L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
- L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
- L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
- L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
- L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

INTERIOR RECOMMENDATIONS

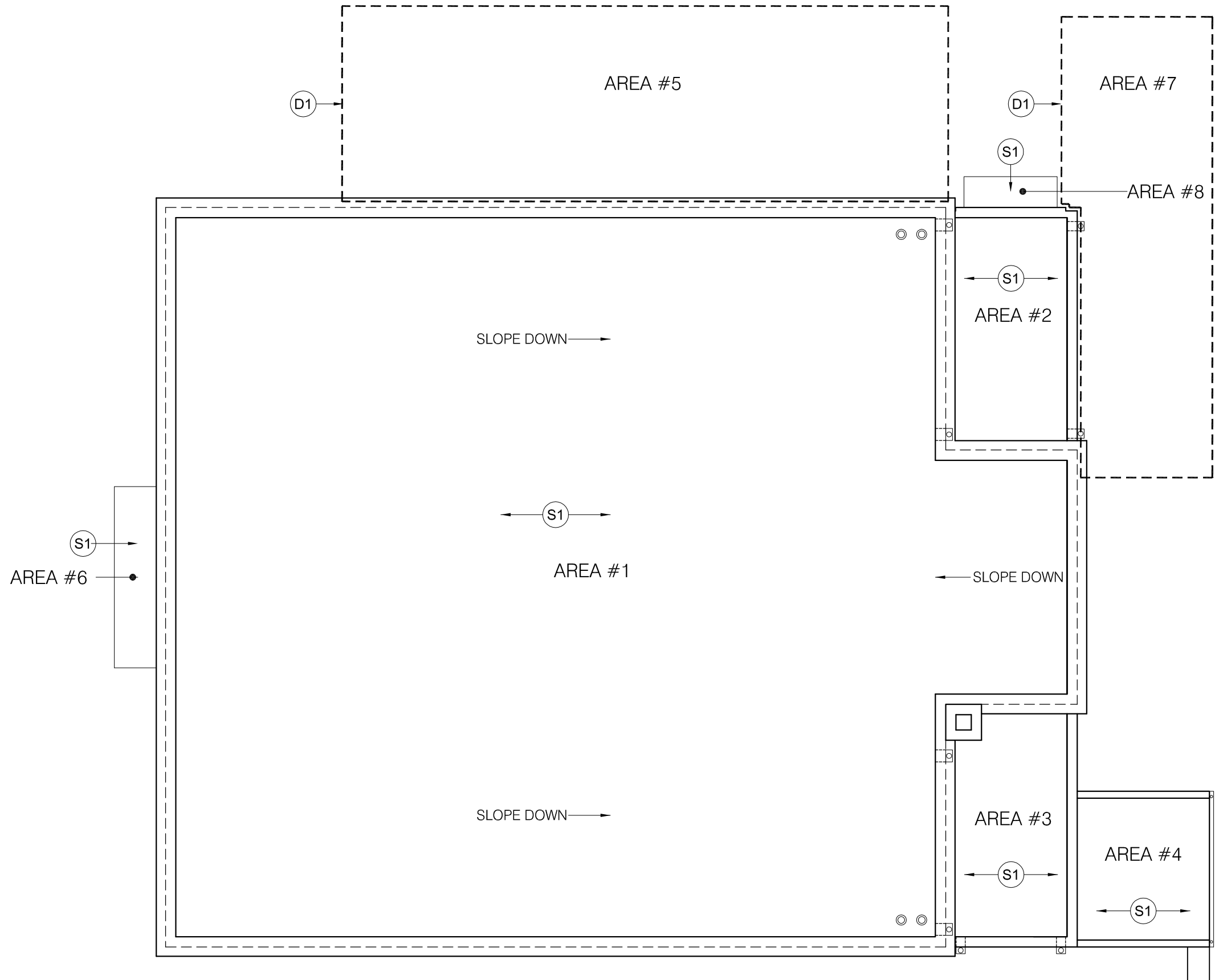
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- I2. RESTORE MAIN LOBBY TO MATCH HISTORIC APPEARANCE.
- I3. RESTORE ALL HISTORIC LIGHT FIXTURES
- I4. RESTORE HISTORIC SANCTUARY TO HISTORIC APPEARANCE.
- I5. INSTALL PASSENGER ELEVATOR TO PROVIDE ACCESSIBILITY TO SECOND FLOOR.
- I6. BUILDOUT FIRST FLOOR FELLOWSHIP SPACE FOR FUTURE USE.
- I7. PROVIDE ALL NEW MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION.

ROOF PLAN

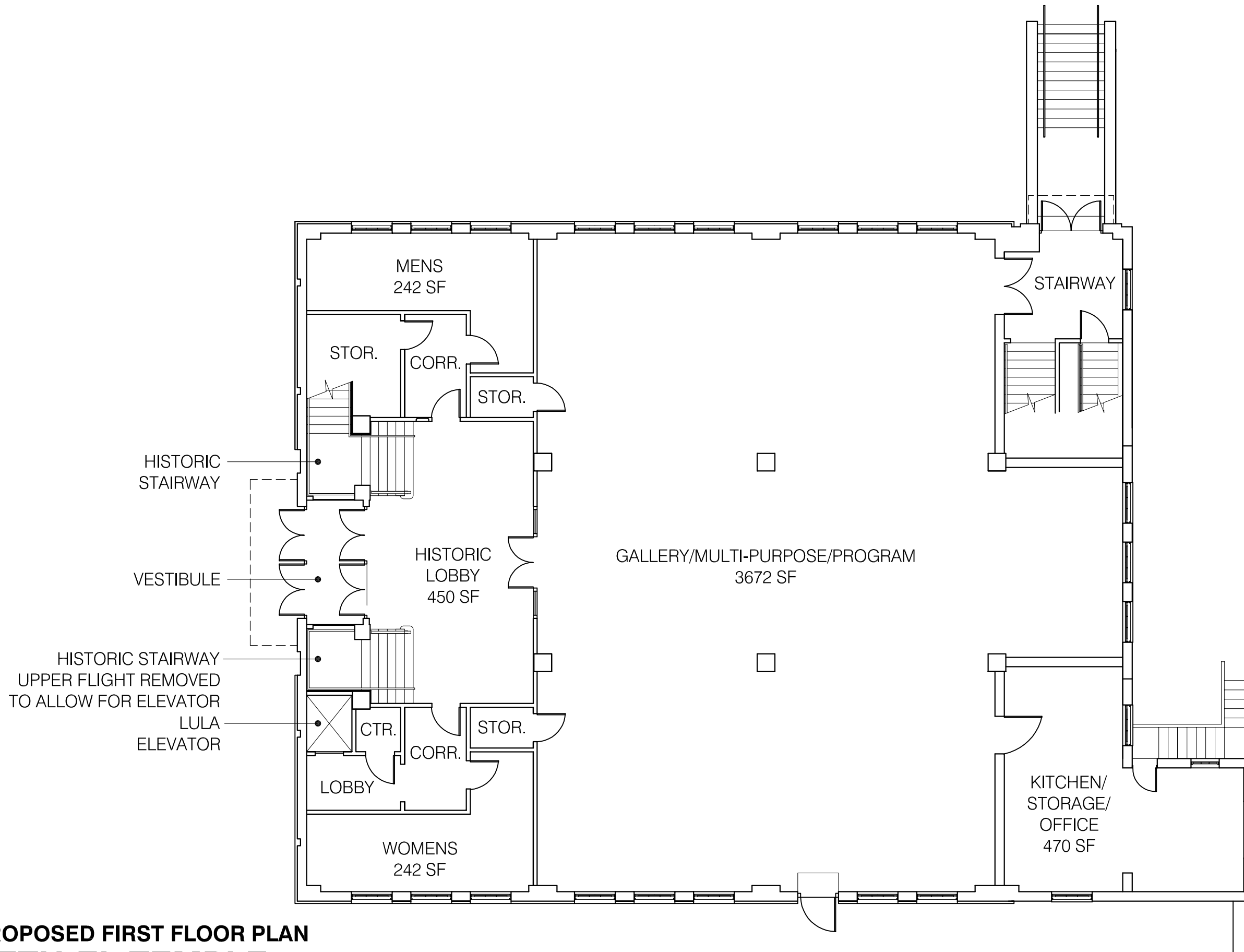
BETH-EL TEMPLE

SCALE : 3/32" = 1'-0"

05/24/2013



GROSS SQUARE FOOTAGE
 BASEMENT - +-1,350 SF
 FIRST FLOOR - 6,600 SF
 SECOND FLOOR - 6,600 SF
 BALCONY - 1,750 SF
 TOTAL 16,300 SF

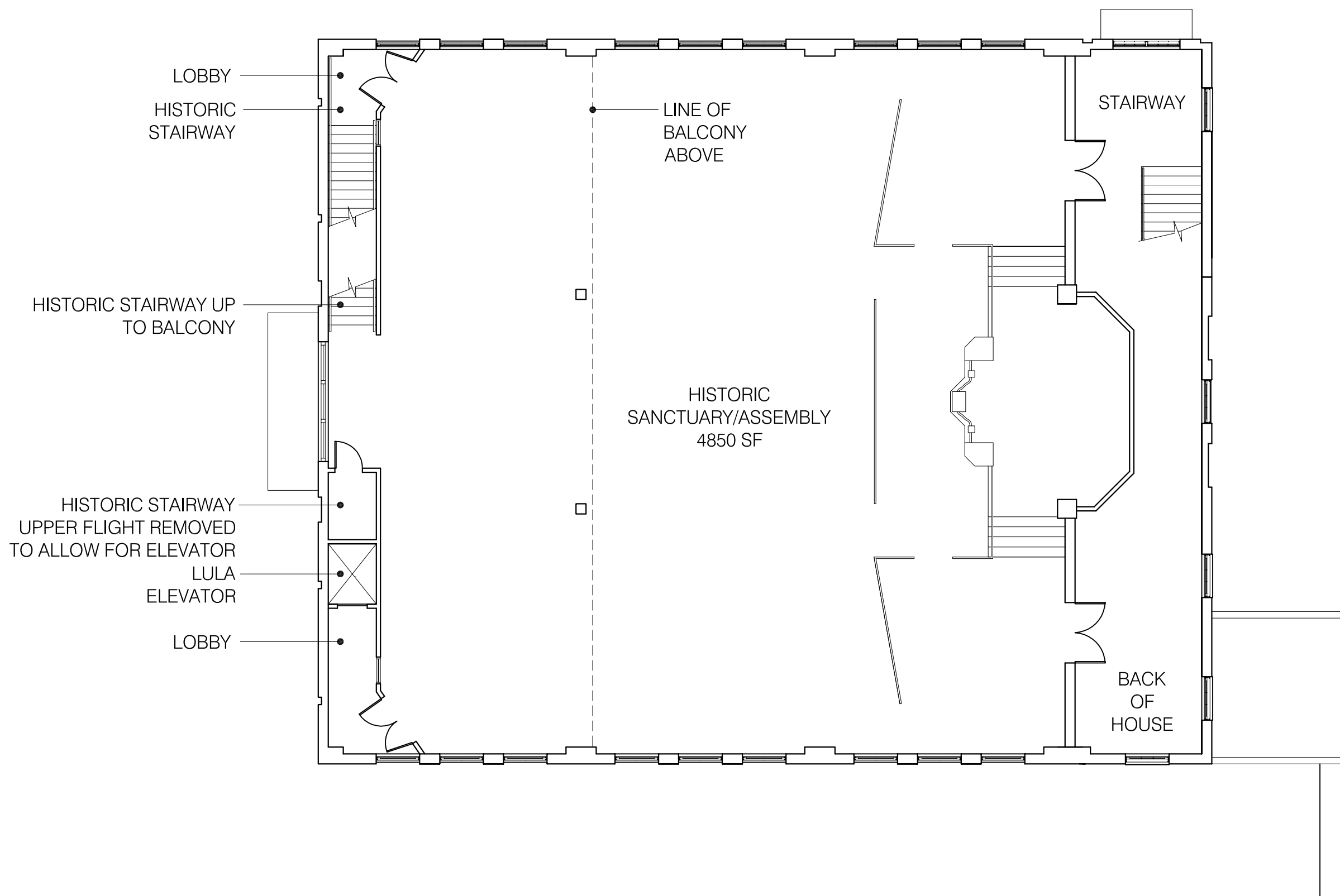


PROPOSED FIRST FLOOR PLAN
BETH-EL TEMPLE

SCALE : 3/32" = 1'-0"

05/24/2013

GROSS SQUARE FOOTAGE
 BASEMENT - +-1,350 SF
 FIRST FLOOR - 6,600 SF
 SECOND FLOOR - 6,600 SF
 BALCONY - 1,750 SF
 TOTAL 16,300 SF

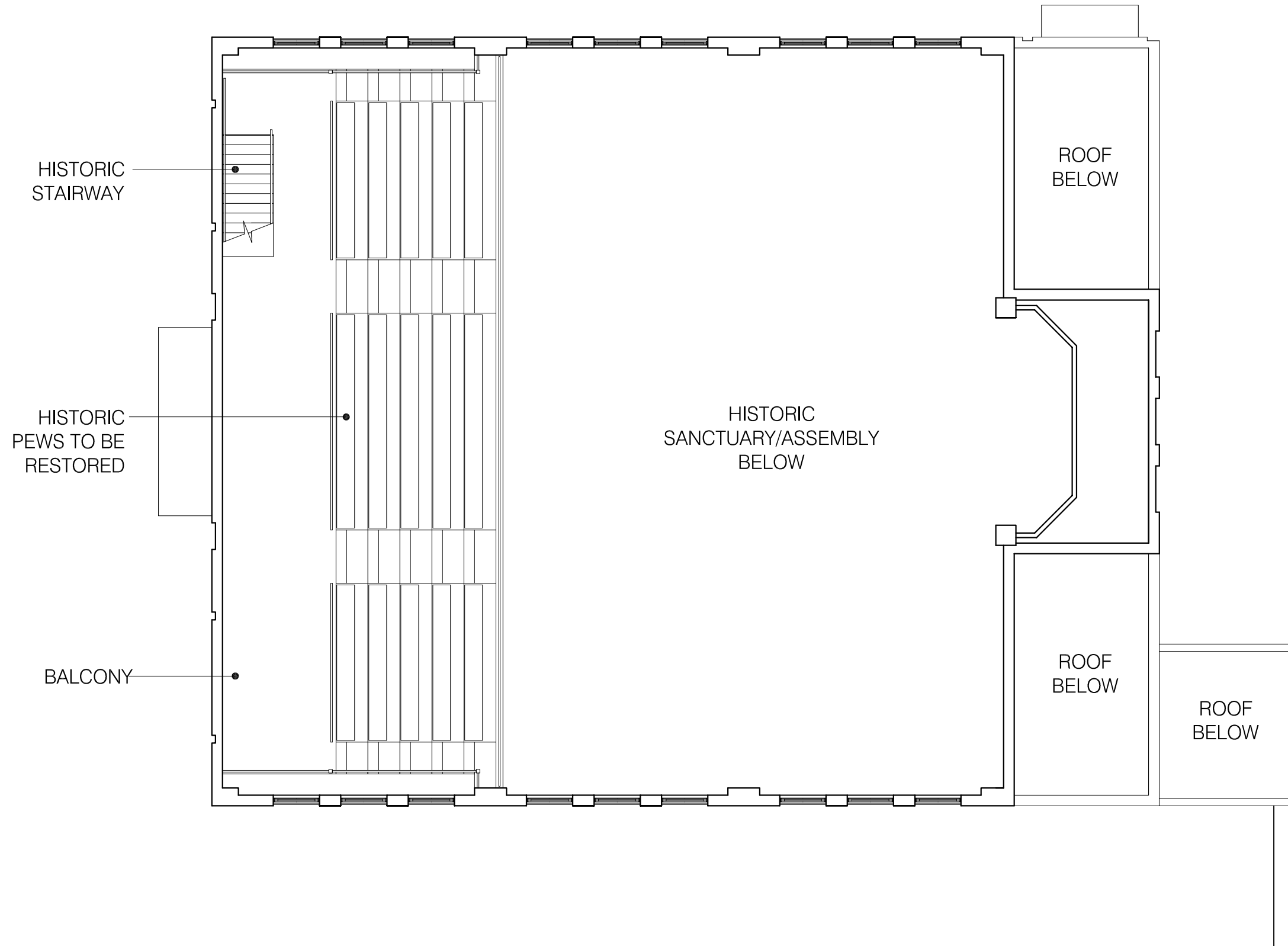


PROPOSED SECOND FLOOR PLAN
BETH-EL TEMPLE

SCALE : 3/32" = 1'-0"

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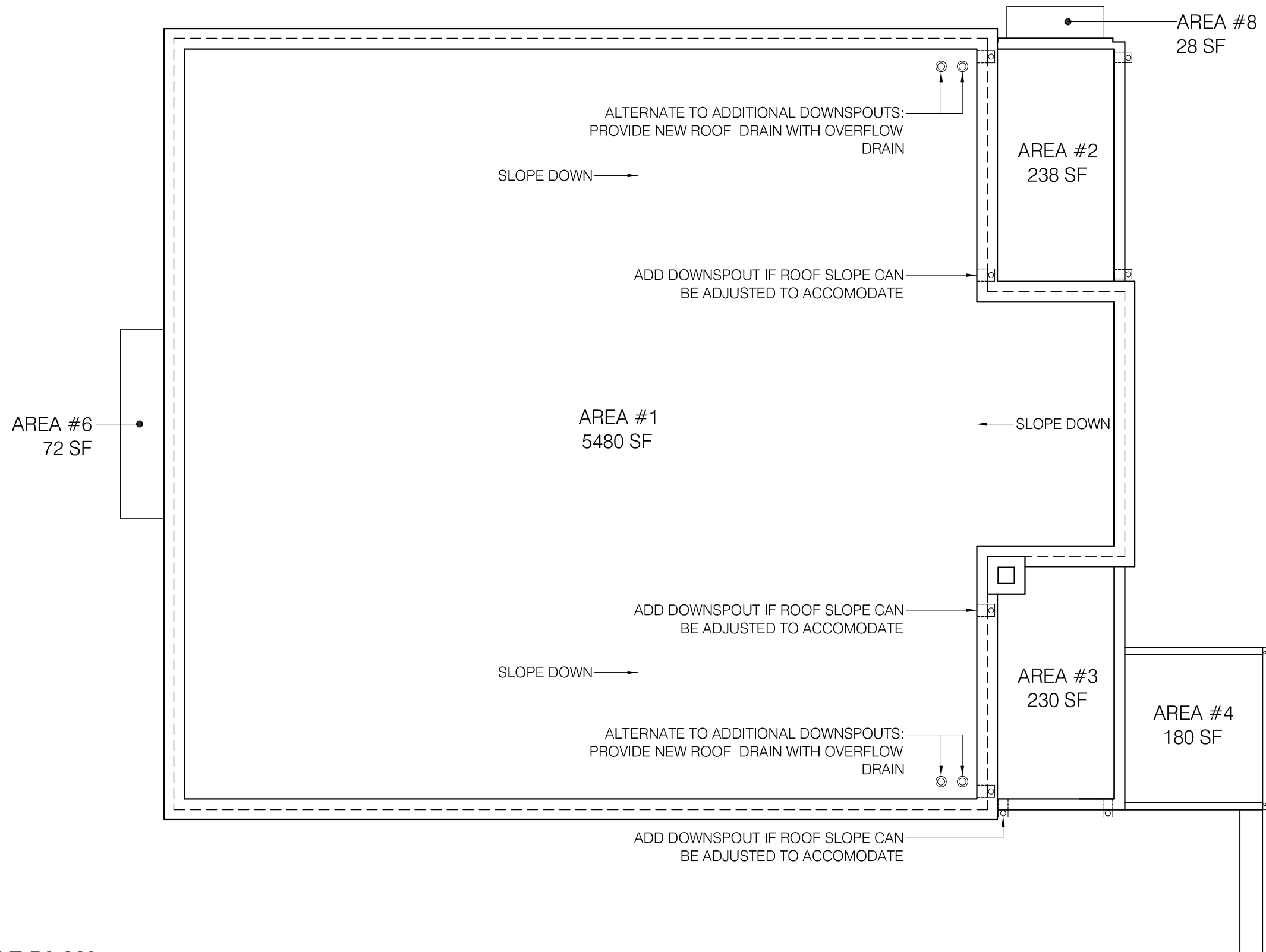
GROSS SQUARE FOOTAGE
BASEMENT - +-1,350 SF
FIRST FLOOR - 6,600 SF
SECOND FLOOR - 6,600 SF
BALCONY - 1,750 SF
TOTAL 16,300 SF



PROPOSED BALCONY FLOOR PLAN
BETH-EL TEMPLE

SCALE : 3/32" = 1'-0"

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PROPOSED ROOF PLAN
BETH-EL TEMPLE

SCALE : 3/32" = 1'-0"

05/24/2013

EXTERIOR DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC BACKLIT SIGN.
- D6. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D7. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D8. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.

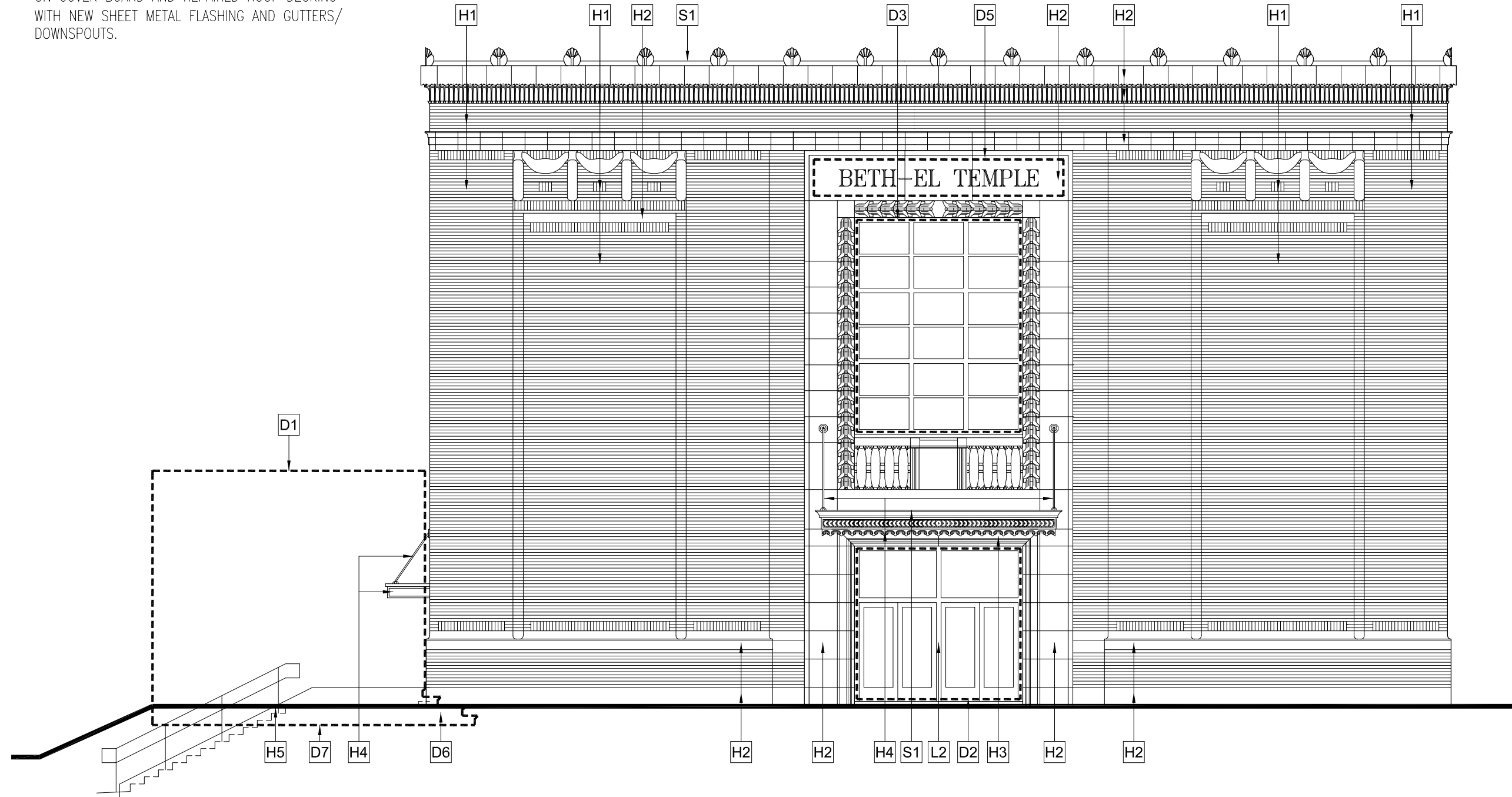
HIGH PRIORITY - EXTERIOR RECOMMENDATIONS MAINTENANCE

- H1. CLEAN AND REPOINT EXISTING BRICK (100% OF AREA IS TO BE CLEANED AND APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE REPOINTED).
- H2. CLEAN AND REPOINT EXISTING LIMESTONE AND TERRA COTTA (100% OF AREA IS TO BE CLEANED AND 100% OF THE TOTAL AREA IS TO BE REPOINTED).
- H3. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H4. REPAIR ALL DECORATIVE METAL, SCRAPE, PRIME, AND REPAINT

- H5. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.
- HISTORIC PRESERVATION
- H6. REPLACE APPROXIMATELY 40 TERRA COTTA PARAPET PIECES WITH NEW TERRA COTTA PIECES TO MATCH.
 - H7. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
 - H8. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR MAINTENANCE

- HISTORIC PRESERVATION
- L1. NEW EXTERIOR STAIRWAY.
 - L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
 - L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
 - L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
 - L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
 - L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.



West Elevation
BETH-EL TEMPLE

SCALE : 1/8" = 1'-0"

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EXTERIOR DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC BACKLIT SIGN.
- D6. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D7. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D8. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.

HIGH PRIORITY - EXTERIOR RECOMMENDATIONS MAINTENANCE

- H1. CLEAN AND REPOINT EXISTING BRICK (100% OF AREA IS TO BE CLEANED AND APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE REPOINTED).
- H2. CLEAN AND REPOINT EXISTING LIMESTONE AND TERRA COTTA (100% OF AREA IS TO BE CLEANED AND 100% OF THE TOTAL AREA IS TO BE REPOINTED).
- H3. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H4. REPAIR ALL DECORATIVE METAL, SCRAPE, PRIME, AND REPAINT

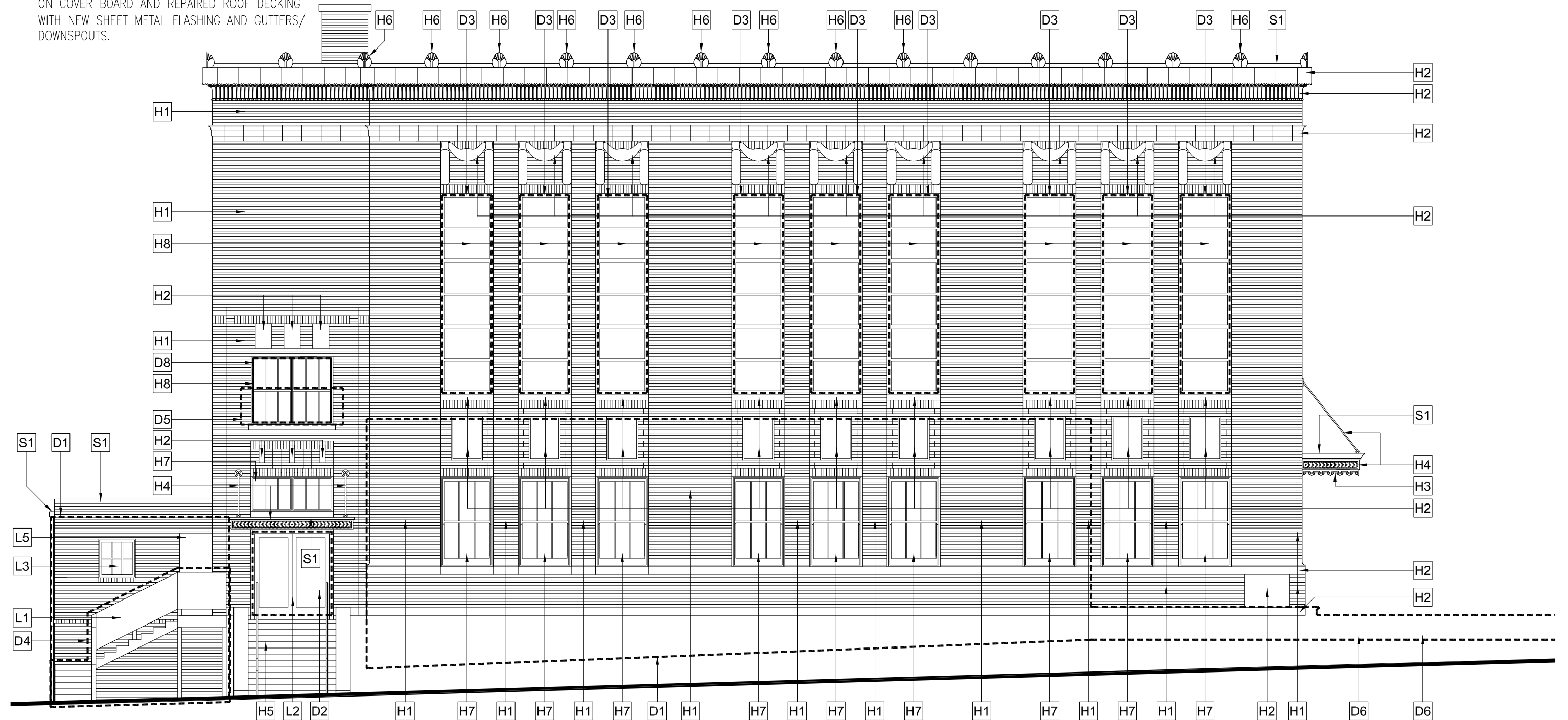
- H5. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.

HISTORIC PRESERVATION

- H6. REPLACE APPROXIMATELY 40 TERRA COTTA PARAPET PIECES WITH NEW TERRA COTTA PIECES TO MATCH.
- H7. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
- H8. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR MAINTENANCE

- L1. NEW EXTERIOR STAIRWAY.
- L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
- L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
- L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
- L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
- L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.



North Elevation Elevation
BETH-EL TEMPLE

SCALE : 1/8" = 1'-0"

05/24/2013

EXTERIOR DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC BACKLIT SIGN.
- D6. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D7. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D8. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.

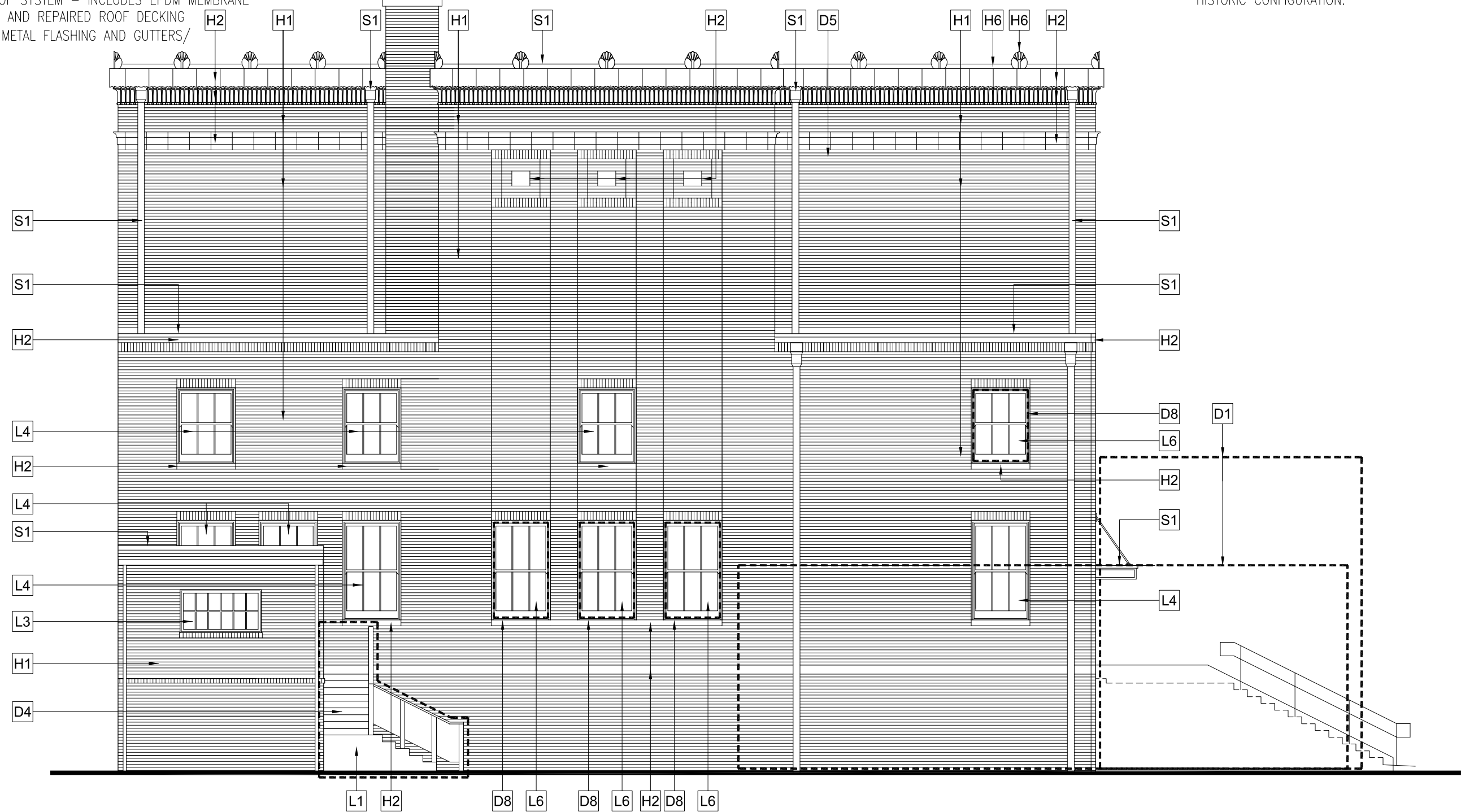
HIGH PRIORITY - EXTERIOR RECOMMENDATIONS MAINTENANCE

- H1. CLEAN AND REPOINT EXISTING BRICK (100% OF AREA IS TO BE CLEANED AND APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE REPOINTED).
- H2. CLEAN AND REPOINT EXISTING LIMESTONE AND TERRA COTTA (100% OF AREA IS TO BE CLEANED AND 100% OF THE TOTAL AREA IS TO BE REPOINTED).
- H3. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H4. REPAIR ALL DECORATIVE METAL, SCRAPE, PRIME, AND REPAINT

- H5. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.
- HISTORIC PRESERVATION
- H6. REPLACE APPROXIMATELY 40 TERRA COTTA PARAPET PIECES WITH NEW TERRA COTTA PIECES TO MATCH.
 - H7. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
 - H8. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR MAINTENANCE

- HISTORIC PRESERVATION
- L1. NEW EXTERIOR STAIRWAY.
 - L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
 - L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
 - L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
 - L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
 - L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.



East Elevation
BETH-EL TEMPLE

SCALE : 1/8" = 1'-0"

05/24/2013

EXTERIOR DEMOLITION RECOMMENDATIONS

- D1. REMOVE EXISTING NON-HISTORIC ADDITION.
- D2. REMOVE EXISTING NON-HISTORIC ENTRANCE DOOR AND FRAME.
- D3. REMOVE EXISTING NON-HISTORIC ALUMINUM WINDOW SYSTEM.
- D4. REMOVE EXISTING WOOD STAIRWAY.
- D5. REMOVE EXISTING NON-HISTORIC BACKLIT SIGN.
- D6. REMOVE EXISTING NON-HISTORIC RETAINING WALL.
- D7. REMOVE CONCRETE DRIVEWAY TO NON-HISTORIC ADDITION.
- D8. REMOVE EXISTING NON-HISTORIC MASONRY INFILL.

STABILIZATION RECOMMENDATIONS

- S1. PROVIDE NEW ROOF SYSTEM - INCLUDES EPDM MEMBRANE ON COVER BOARD AND REPAIRED ROOF DECKING WITH NEW SHEET METAL FLASHING AND GUTTERS/DOWNSPOUTS.

HIGH PRIORITY - EXTERIOR RECOMMENDATIONS MAINTENANCE

- H1. CLEAN AND REPOINT EXISTING BRICK (100% OF AREA IS TO BE CLEANED AND APPROXIMATELY 20% OF THE TOTAL AREA IS TO BE REPOINTED).
- H2. CLEAN AND REPOINT EXISTING LIMESTONE AND TERRA COTTA (100% OF AREA IS TO BE CLEANED AND 100% OF THE TOTAL AREA IS TO BE REPOINTED).
- H3. RECONSTRUCT EXISTING CEILING AT CANOPY WITH NEW SHEATHING AND PLASTER SKIM COAT.
- H4. REPAIR ALL DECORATIVE METAL, SCRAPE, PRIME, AND REPAINT

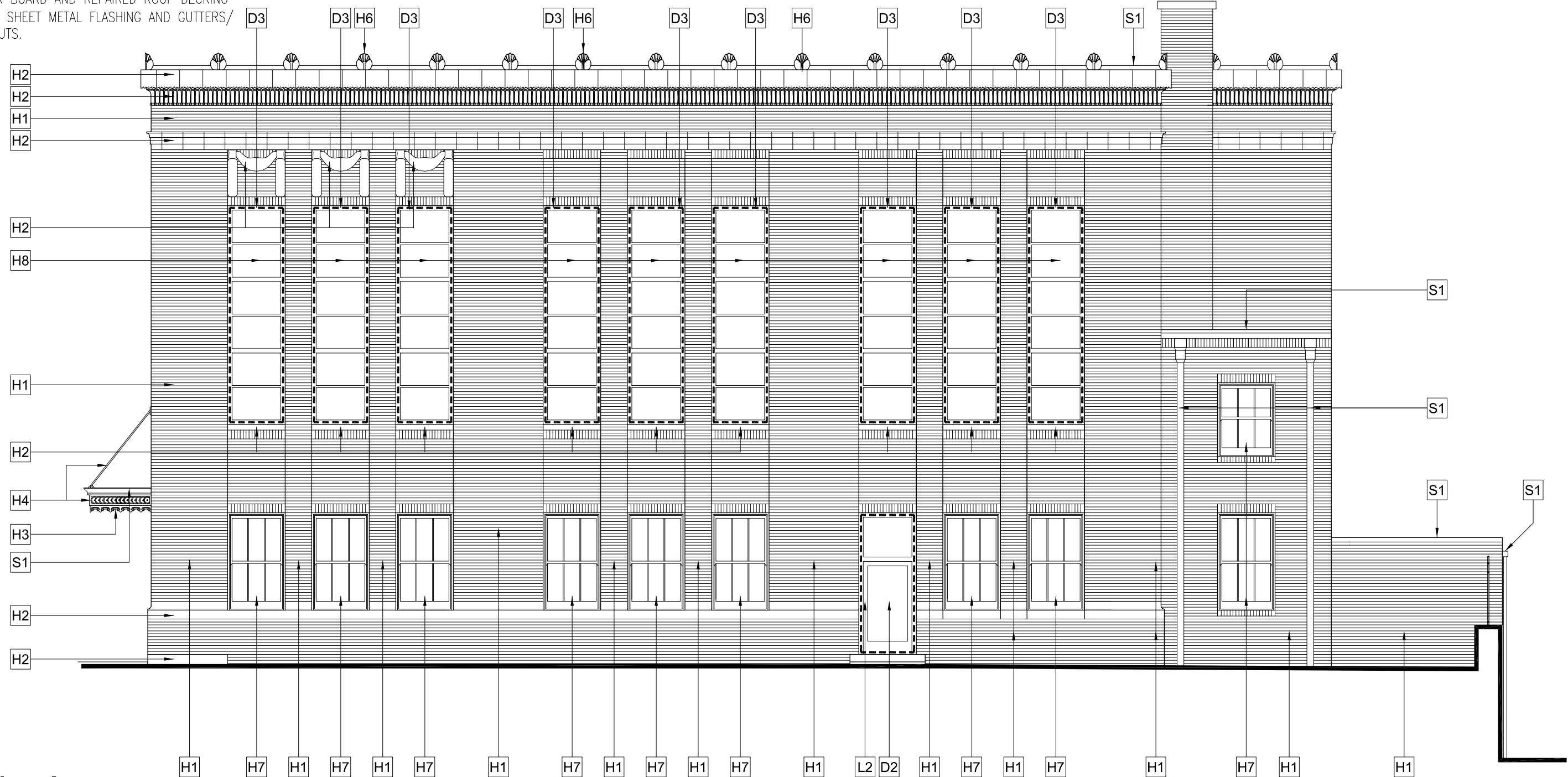
- H5. REPLACE EXISTING CONCRETE STAIRS AND RETAINING WALL WITH NEW CONCRETE STAIRS AND RETAINING WALL. PROVIDE NEW METAL HANDRAILS.

HISTORIC PRESERVATION

- H6. REPLACE APPROXIMATELY 40 TERRA COTTA PARAPET PIECES WITH NEW TERRA COTTA PIECES TO MATCH.
- H7. RESTORE, PRIME, AND REPAINT ALL EXISTING WOOD WINDOWS ON FIRST FLOOR OF NORTH AND SOUTH ELEVATIONS.
- H8. RECONSTRUCT WINDOWS ON NORTH, WEST AND SOUTH ELEVATIONS TO MATCH HISTORIC CONFIGURATION.

LOW PRIORITY RECOMMENDATIONS - EXTERIOR MAINTENANCE

- L1. NEW EXTERIOR STAIRWAY.
- L2. REPLACE EXISTING NON-HISTORIC ENTRANCE DOORS AND FRAMES WITH WOOD OR METAL ENTRY STOREFRONT THAT MORE CLOSELY MATCHES THE HISTORIC CONFIGURATION.
- L3. RESTORE, PRIME, AND PAINT EXISTING STEEL WINDOWS.
- L4. RESTORE, PRIME, AND PAINT EXISTING WOOD WINDOWS.
- L5. RESTORE, PRIME AND PAINT EXISTING WOOD DOOR.
- L6. RECONSTRUCT WINDOWS ON EAST ELEVATIONS TO MATCH HISTORIC CONFIGURATION.



South Elevation
BETH-EL TEMPLE

SCALE : 1/8" = 1'-0"

05/24/2013

**BROWNING
DAY MULLINS
DIERDORF
ARCHITECTS**